



**FARMERS  
BRANCH**

**ORDINANCE NUMBER 2293**

**AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS,  
AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE  
CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED;  
SO AS TO GRANT A SPECIFIC USE PERMIT FOR "OUTDOOR  
STORAGE OF BOATS ON TRAILERS" ON THE PROPERTY LOCATED  
AT 2410 VALWOOD PARKWAY, AND WITHIN THE GENERAL  
BUSINESS SUBDISTRICT OF THE PLANNED DEVELOPMENT NO. 70  
ZONING DISTRICT, GRANTING EXCEPTIONS, TO ALLOW THE  
"OUTDOOR STORAGE OF BOATS ON TRAILERS" USE; PROVIDING  
FOR CONDITIONS OF OPERATION; PROVIDING FOR A PENALTY  
OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00)  
DOLLARS FOR EACH OFFENSE; PROVIDING FOR SEVERABILITY;  
PROVIDING FOR INJUNCTIVE RELIEF; AND DECLARING AN  
EFFECTIVE DATE.**

Whereas, the Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the Charter of the City of Farmers Branch, and the State Law with reference to the granting of a Specific Use Permit having given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the governing body of the City of Farmers Branch is of the opinion that said change in zoning use should be made, subject to the conditions set out herein.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF  
FARMERS BRANCH, TEXAS:**

**SECTION 1. That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, be, and the same is hereby amended, by amending the zoning map of the City of Farmers Branch so as to grant a Specific Use Permit to allow the outdoor storage of boats on trailers on a 0.49 acre tract located at 2410 Valwood Parkway and within the General Business Subdistrict of the Planned Development No. 70 (PD-70) zoning district.**



SECTION 2. That said "outdoor storage of boats on trailers" shall be operated in compliance with the conditions hereby established and by the approved site plan attached as Exhibit "A".

SECTION 3. That the outdoor storage of boats on trailers shall be operated in conformance with the following conditions:

- a. All boat propeller repair and parts installation shall take place exclusively within the building.
- b. No boats shall be stored on the property unless on a boat trailer and within the storage area behind the screening fence.
- c. Any boats kept on-site during hours in which the facility is not open to the public shall be stored indoors or within the designated storage area.
- d. The proposed roof signs shall not project beyond any face of the existing mansard roof.
- e. In the event a Certificate of Occupancy relative to the outdoor storage and associated on-site improvements is not issued within one (1) year from approval of the specific use permit, or should the site be vacated for more than 6 months, a public hearing shall be called for the purpose of reconsideration of the specific use permit.
- f. All signs shall be erected and/or maintained as shown on the site plan.

SECTION 4. That in accordance with Ordinance 2111, amending the Comprehensive Zoning Ordinance and establishing the Old Farmers Branch Special District (Planned Development Number 70), the following special exceptions are granted:

- a. Allow a wooden screening fence around the proposed outdoor boat storage area rather than a masonry wall or other screening material as required by PD-70.
- b. Allow the use of the existing nonconforming pylon sign located along the west property line and to allow the existing roof signs to be replaced.

SECTION 5. That the above described property shall be used only in the manner and for the purpose provided by the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, as herein amended and by the granting of a Specific Use Permit for outdoor storage of boats on trailers at 2410 Valwood Parkway.

SECTION 6. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, and upon convictions shall be punishable by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense.

SECTION 7. If any section, paragraph, subdivision, clause, phrase, provision, or word of this ordinance shall be judged invalid or unconstitutional, such judgement shall not affect the remainder of this ordinance.

SECTION 8. In addition to and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

SECTION 9. This ordinance shall take effect immediately from and after its passage and publication of the caption of said ordinance, as the law in such case provides.

DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, on this the 6th day of January, 1997.

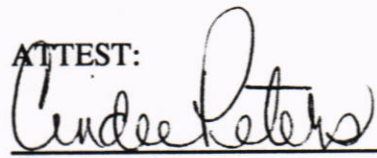
APPROVED:

  
\_\_\_\_\_  
Mayor

APPROVED AS TO FORM:

  
\_\_\_\_\_  
City Attorney

ATTEST:

  
\_\_\_\_\_  
City Secretary





# JAMES PROPELLER AND PARTS, INC.

2410 VALWOOD PARKWAY  
LOT 1, BLOCK 1  
MS SUBDIVISION #1  
PD-70  
GENERAL BUSINESS SUBDISTRICT (OFB-GB)  
FARMERS BRANCH, TEXAS  
AREA OF SITE - 21,383 S.F. (.4908 ACRES)

REQUIRED SETBACKS  
FRONT YARD SETBACK: 30 FT. (THOROUGHFARE)  
SIDE YARD SETBACK: NONE  
REAR YARD SETBACK: NONE  
LOT COVERAGE (MAX.) 60 %  
ACTUAL COVERAGE 14.98 %

2,260 S.F. EXISTING  
944 S.F. NEW  
3,204 S.F. PROPOSED  
S.F. BY USE:  
SALES & RETAIL 1,453 S.F.  
SHOP & STORAGE 1,169 S.F.  
SERVICE BAY 583 S.F.

FLOOR AREA RATIO  
ALLOWED 2:1  
ACTUAL SITE F.A.R. .15:1  
BUILDING HEIGHT - 40' MAX.  
ACTUAL BUILDING HEIGHT - 16' +/- TOP OF PARAPET  
AREA OF LANDSCAPING TOTAL - 6,288 SQ. FT. (26.56 %)  
LANDSCAPING (MINIMUM REQUIREMENTS: 5 %)

**PARKING REQUIREMENTS**  
EXISTING PARKING 11 SPACES  
REQUIRED PARKING 8 SPACES

- NOTES:
1. ALL WALLS WITHIN 5' OF PROPERTY LINES WILL BE FIRE RATED.
  2. NO OUTDOOR STORAGE MAY EXTEND ABOVE THE HEIGHT OF THE REQUIRED SCREENING.
  3. ALL DRAINAGE FLOW IS DIRECTED TO THE DRAINAGE DITCH NEXT TO THE RAILROAD TRACK.
  4. THERE IS NO EXISTING IRRIGATION SYSTEM.
  5. REMOVE EXISTING POLES AND CHAINS ACROSS DRIVEWAYS ●
  6. NORTH PROPERTY LINE.
  6. CONNECT NEW IRRIGATION SYSTEM TO EXISTING WATER LINE.

- SPECIAL EXCEPTIONS:
1. WOOD SCREENING FENCE IN LIEU OF MASONRY FENCE.
  2. ROOF SIGN
  3. PYLON SIGN

## IRRIGATION SYSTEM KEY

- B - BUBBLER
- - POP UP 360° SPRAY
- - POP UP 180° SPRAY
- - POP UP 90° SPRAY
- ▲ - 12" SHRUBBERY RISER 180° SPRAY
- - VALVE

## SITE PLAN

SCALE: 1/10" = 1'-0"



EXHIBIT "A" (2 of 6)

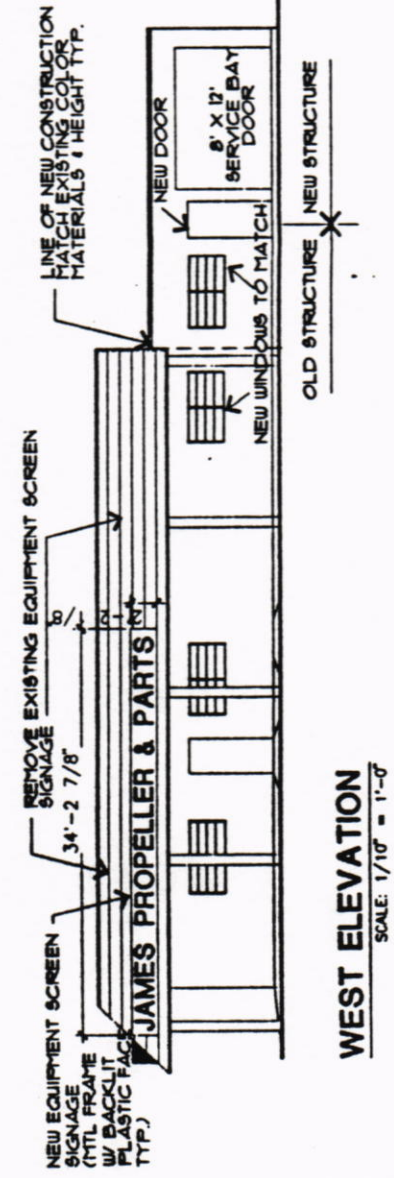
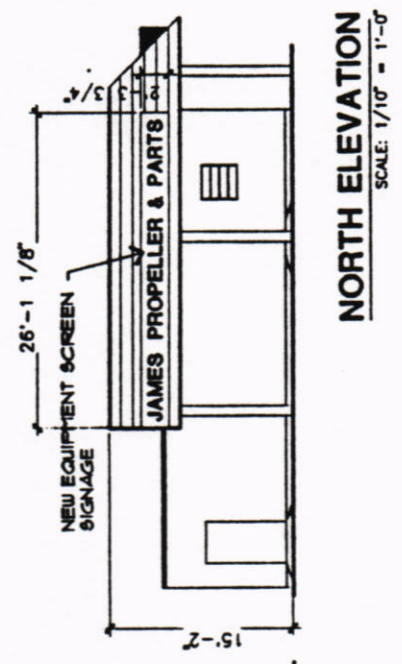
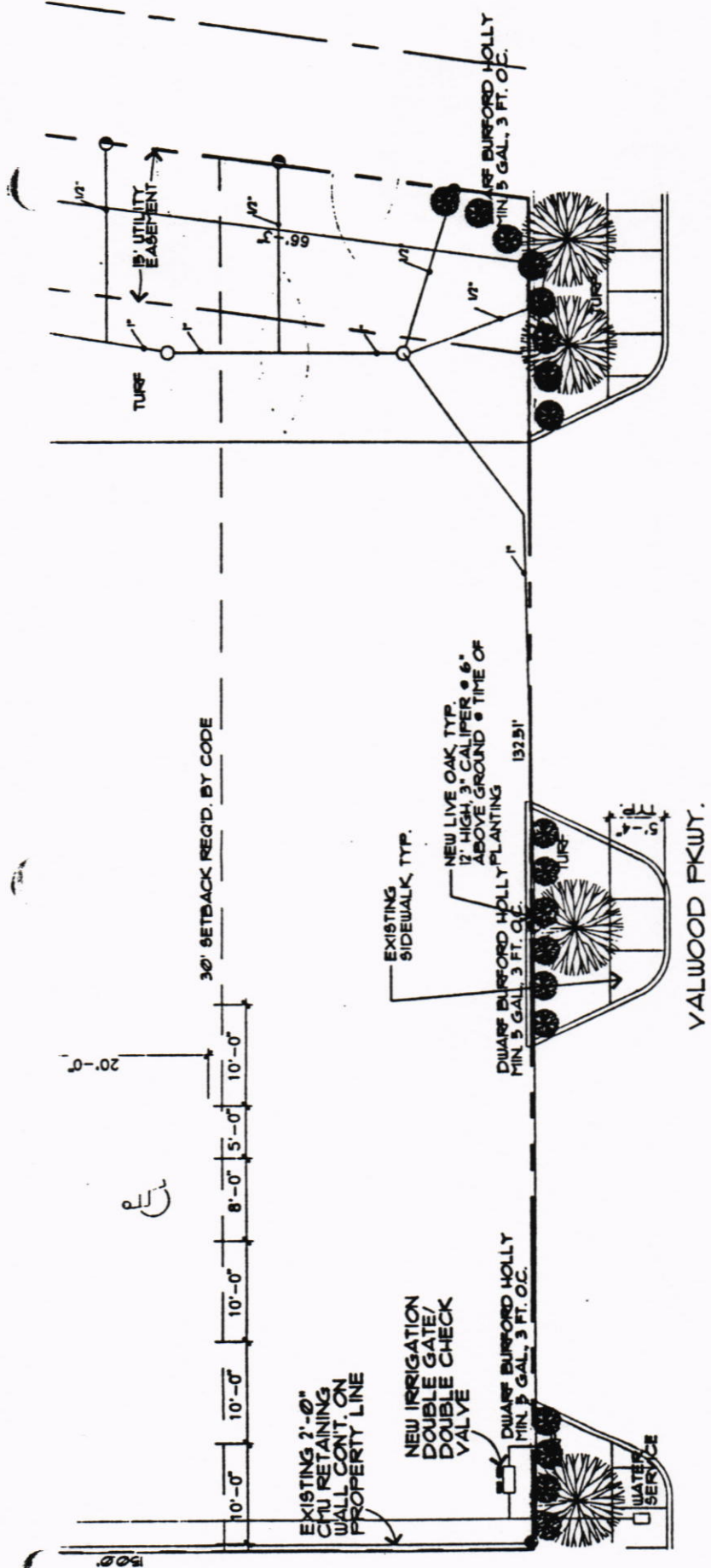
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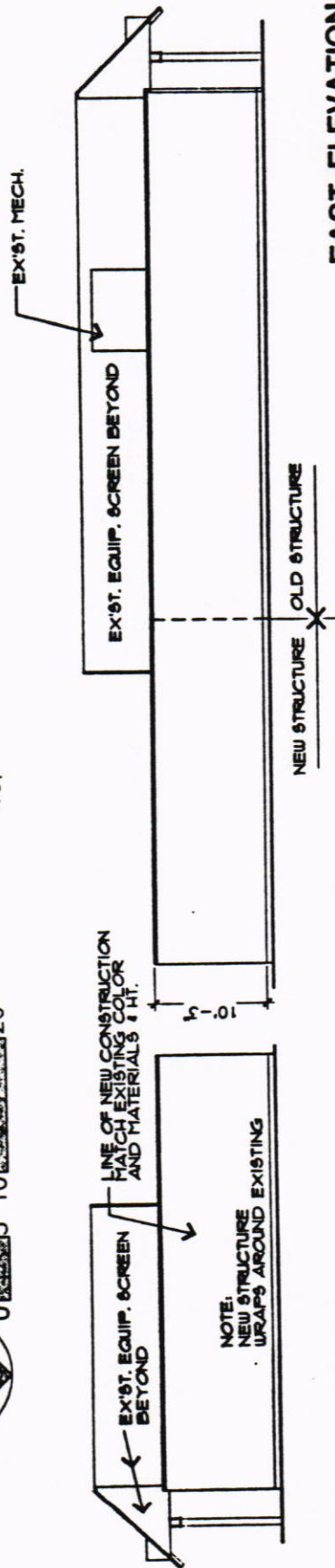
# **PARKING REQUIREMENTS**

EXISTING PARKING 11 SPACES  
REQUIRED PARKING 8 SPACES

▲ -12" SHRUBBERY RISER 180° SPRAY  
○ -VALVE

## **SITE PLAN**

SCALE: 1/10" = 1'-0"

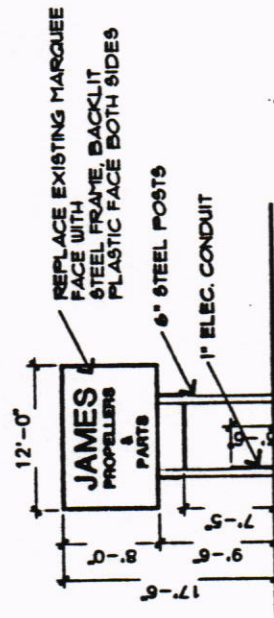


## **EAST ELEVATION**

SCALE: 1/10" = 1'-0"

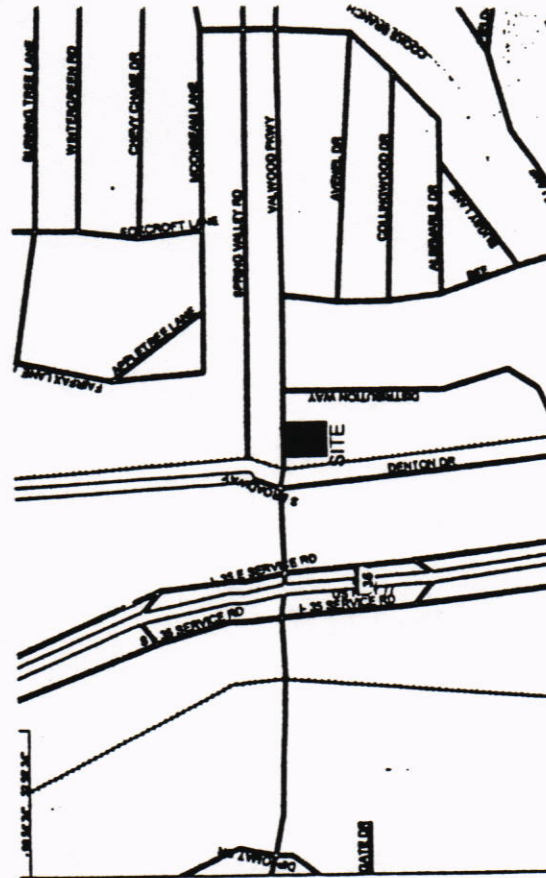
## **SOUTH ELEVATION**

SCALE: 1/10" = 1'-0"



## **SIGN ELEVATION (FRONT)**

SCALE: 1/10" = 1'-0"



4'-4" - SEE PLAN 6/12/12

EXHIBIT "A" (6 of 6)

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